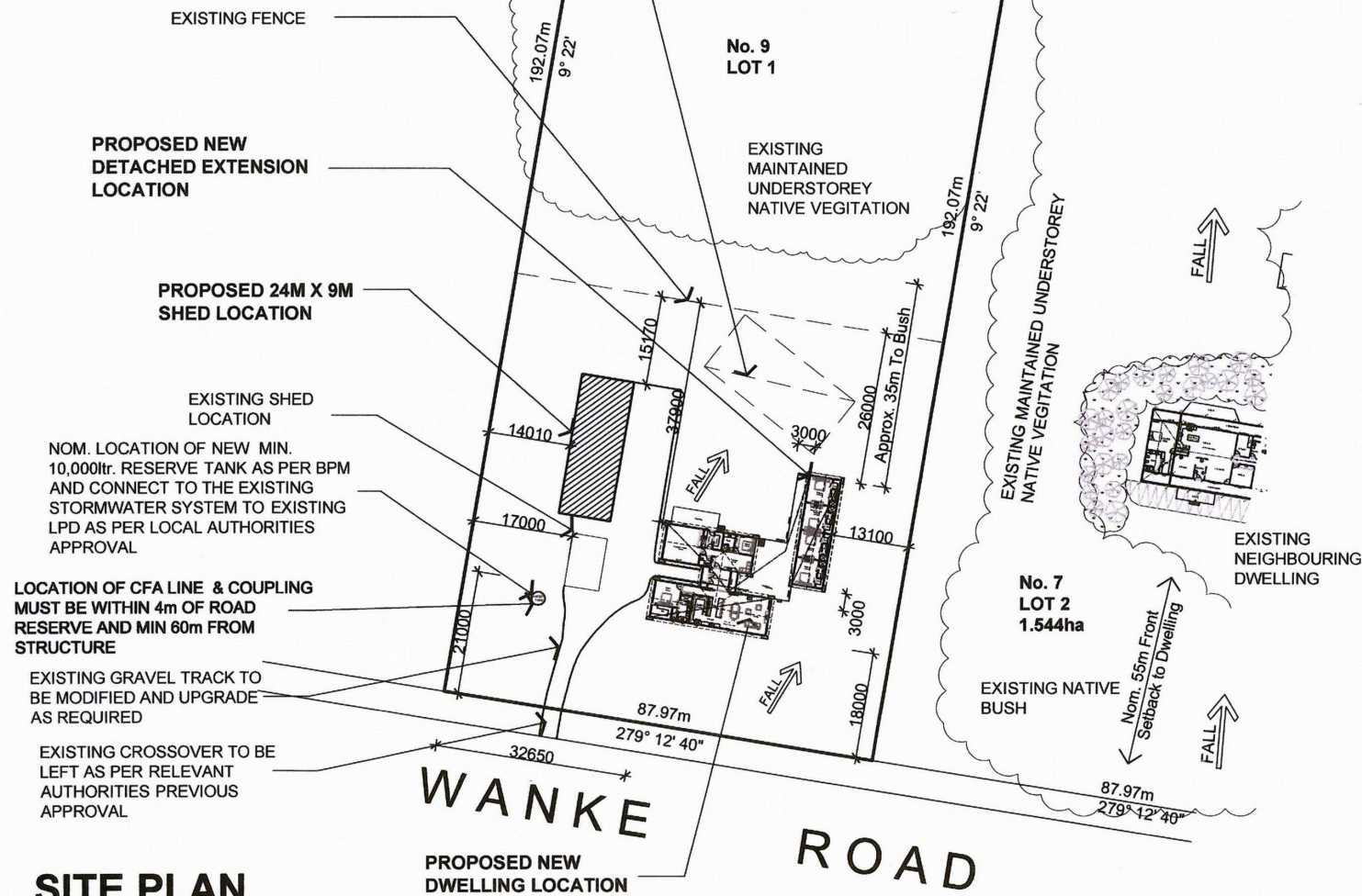


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DETACHED UNIT FLOOR PLAN	3
ELEVATIONS	4
ELEVATIONS	5
ELEVATIONS	6
SHED FLOOR PLAN	7
SHED ELEVATIONS	8

SITE NOTES

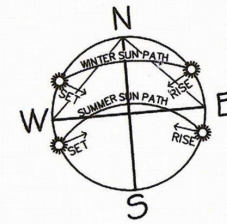
- FOR ALL SITE DETAILS REFER TO COPY OF TITLE
- REFER TO GENERAL NOTES FOR SITE AND STORMWATER NOTES
- ALL DOWNPIPE POSITIONS ARE APPROX. FINAL POSITIONS ARE TO BE CONFIRMED BY PLUMBER
- CONNECT ALL DOWNPIPES, STORMWATER PITS & SEWER TO LEGAL POINT OF DISCHARGE (LPD).
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SITE PLAN

SCALE 1:1000 (sheet size A3)



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NOT FOR CONSTRUCTION

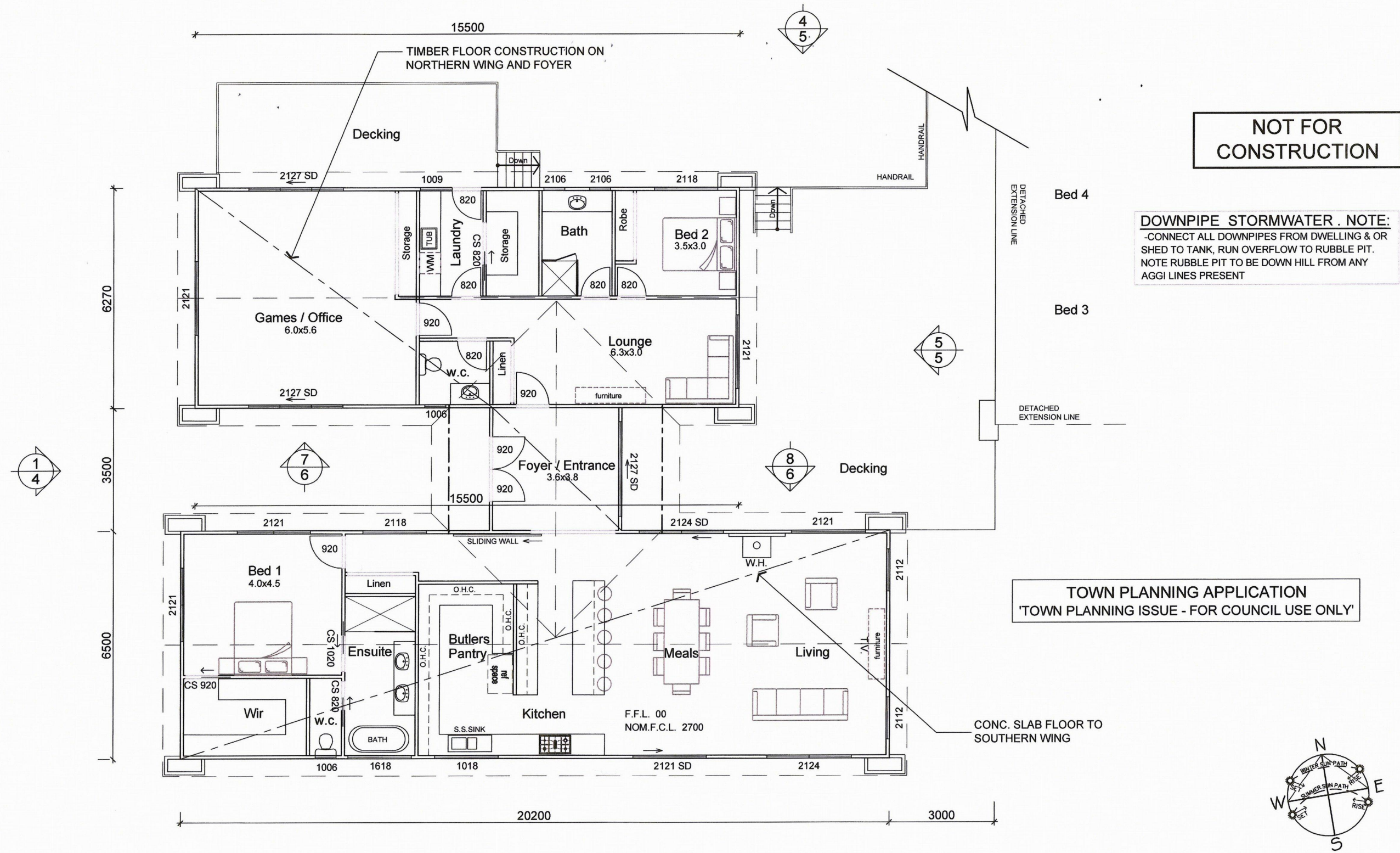
TOWN PLANNING APPLICATION
 'TOWN PLANNING ISSUE - FOR COUNCIL USE ONLY'

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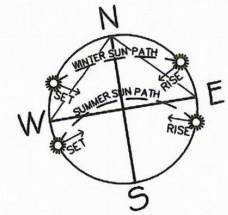
title:	TOWN PLANNING PLANS ~ 27-9-21	drawn: LC	chk'd: DJT	<p>785 Ruby - Arawata Road Ruby, Victoria, 3951 phone: (03) 56 625 119 fax: (03) 56 622 996 mobile: 0467 625 166 email: david@davidtreasedesign.com.au</p>
proposed:	NEW DWELLING AND SHED	date:	SEPT 2021	
for:	JON BAKER & LORRAINE VILIAMU	scale:	AS NOTED	
at:	LOT 1, 9 WANKE ROAD, MIRBOO NORTH 3871	revision:	1 issue: A	
		sheet:	1 of 8	
		reg no:		Project No: 21-2102



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TOWN PLANNING APPLICATION
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PROPOSED DWELLING FLOOR PLAN

SCALE 1:100 (sheet size A3)

AREAS:

DWELLING :	237.25 M2	OR	25.53 SQ
DETACHED UNIT:	101.00 M2	OR	10.87 SQ
DECKING :	73.80 M2	OR	7.94 SQ
TOTAL AREA:	412.05 M2	OR	44.35 SQ

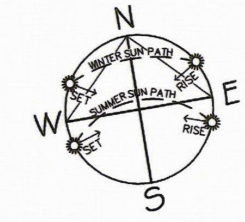
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 proposed: **NEW DWELLING AND SHED**

for: **JON BAKER & LORRAINE VILIAMU**
 at: **LOT 1 NO. 9 WANKE ROAD, MIRBOO NORTH 3871**

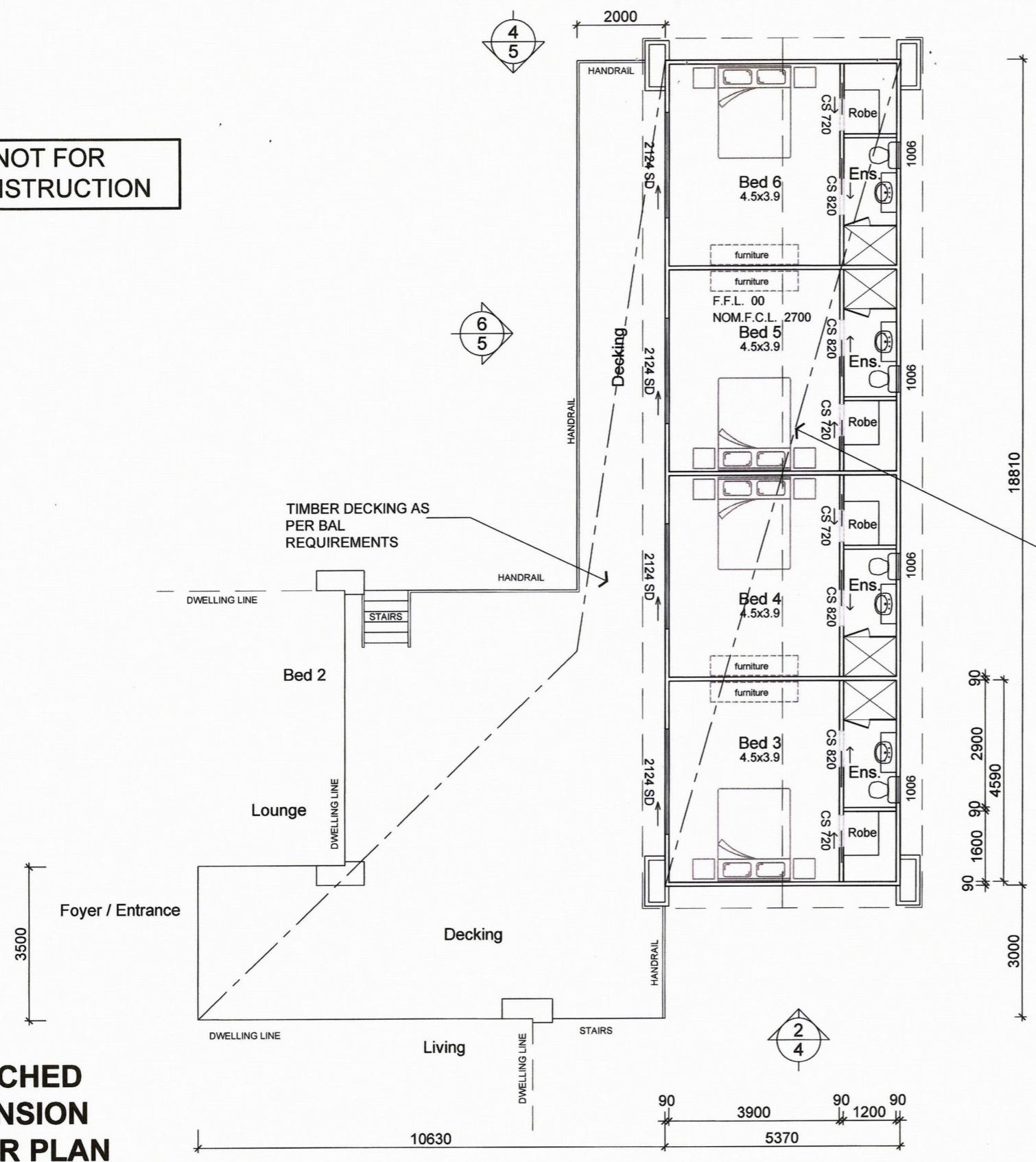
scale: **AS NOTED**
 drawn: **LC** chkd: **DJT** sheet : **2 of 8**
 date: **SEPT 2021** job no : **20-2102**
 revision : **1** issue : **A**

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TIMBER FLOOR CONSTRUCTION ON DETACHED UNIT T.B.C.

TOWN PLANNING APPLICATION
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DETACHED EXTENSION FLOOR PLAN

SCALE 1:100 (sheet size A3)

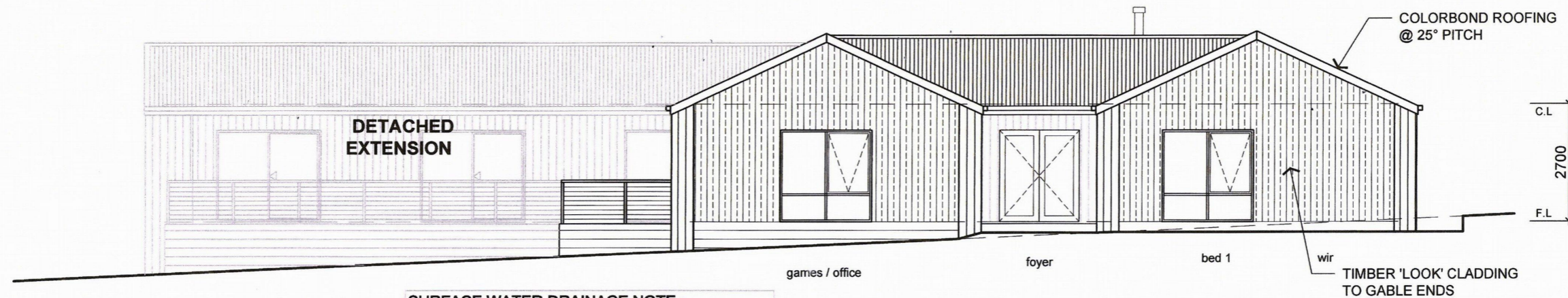
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 drawn: LC
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 revision: 1

sheet: 3 of 8
 job no: 20-2102

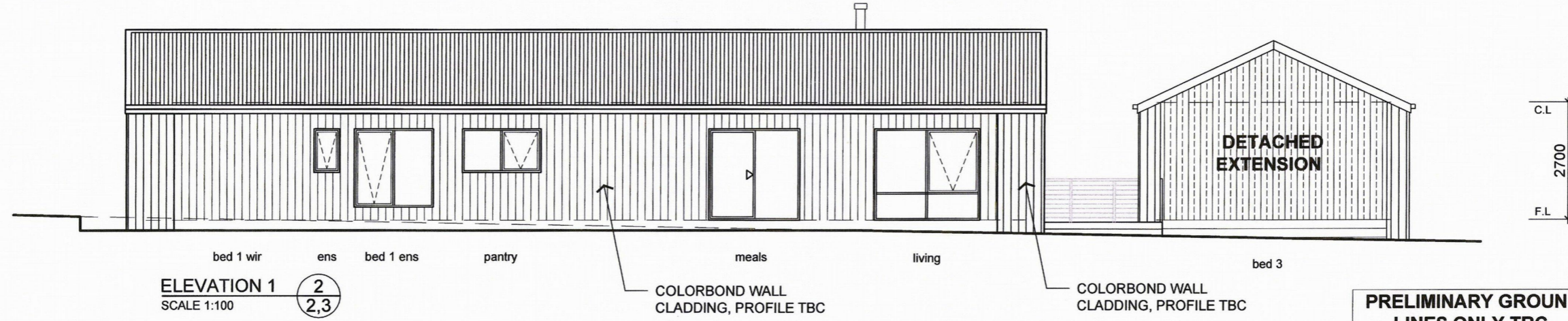
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ELEVATION 1 (1)
SCALE 1:100 (2,3)

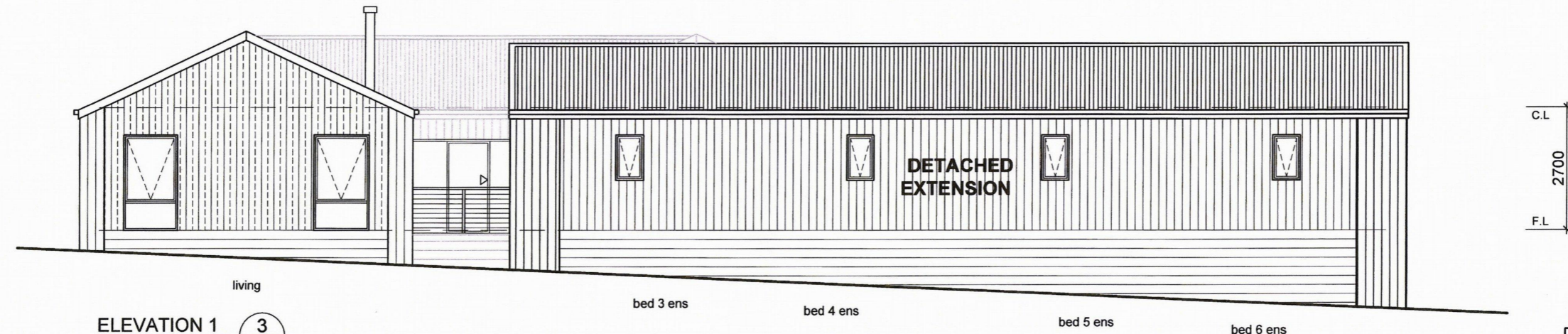
SURFACE WATER DRAINAGE NOTE :
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TOWN PLANNING APPLICATION
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ELEVATION 1 (2)
SCALE 1:100 (2,3)

PRELIMINARY GROUND LINES ONLY TBC.



ELEVATION 1 (3)
SCALE 1:100 (2,3)

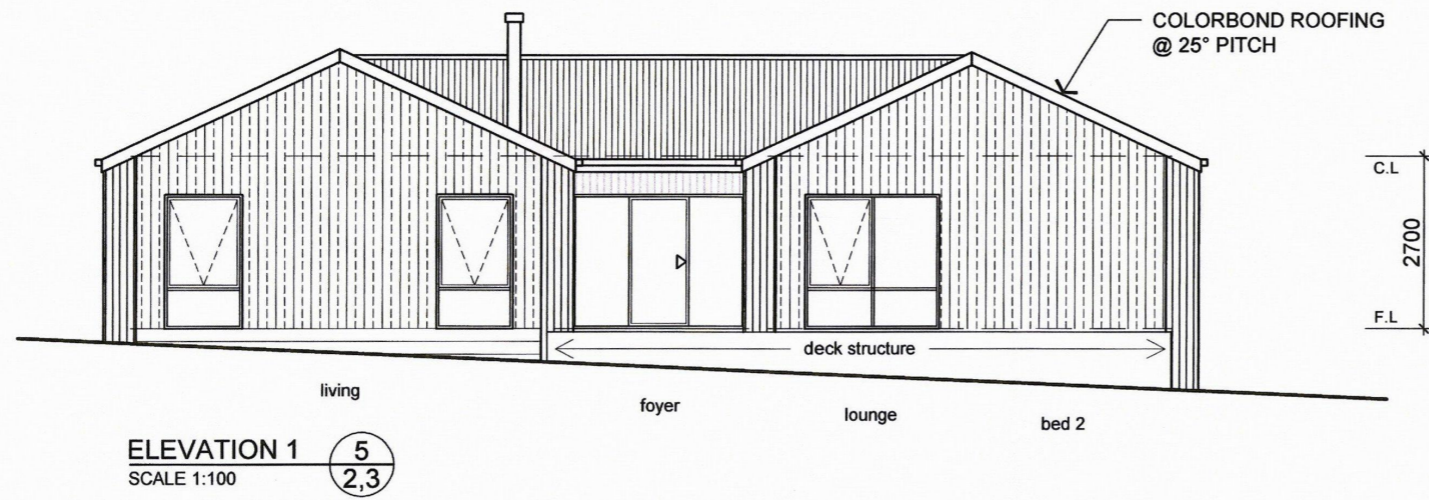
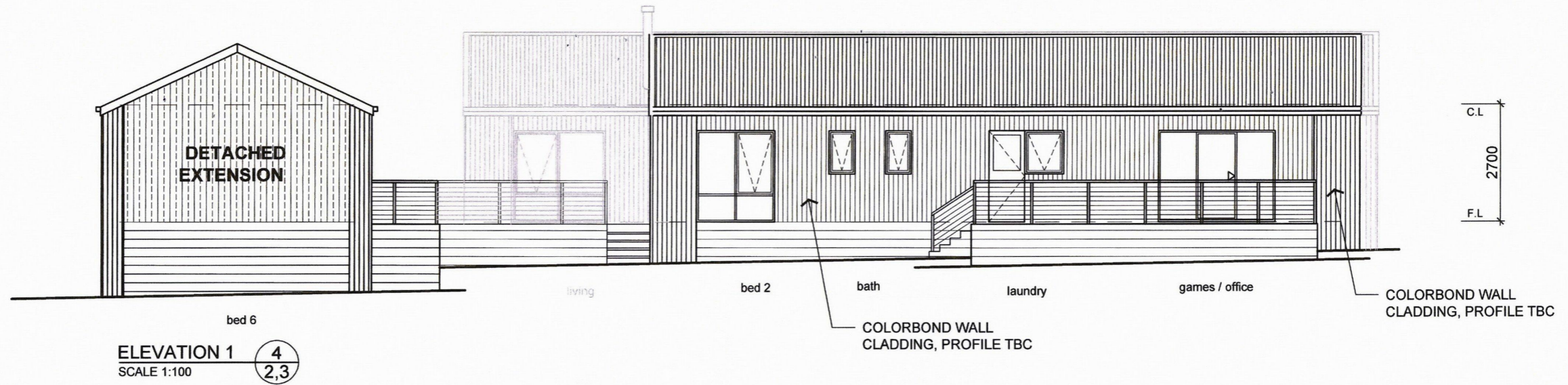
ELEVATIONS

SCALE 1:100 (sheet size A3)

NOT FOR CONSTRUCTION

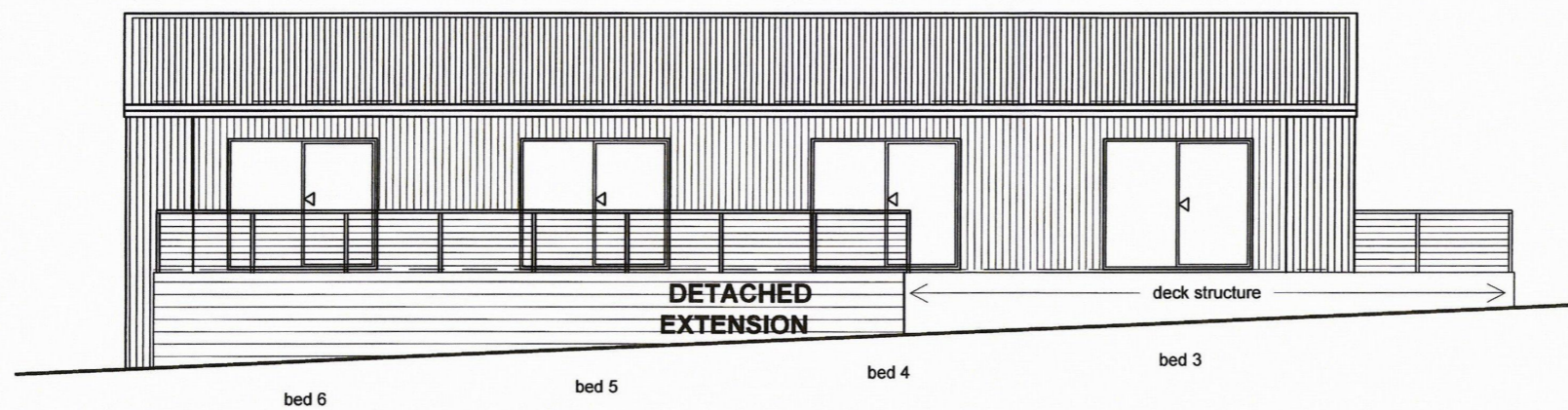
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		revision: 1	

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TOWN PLANNING APPLICATION
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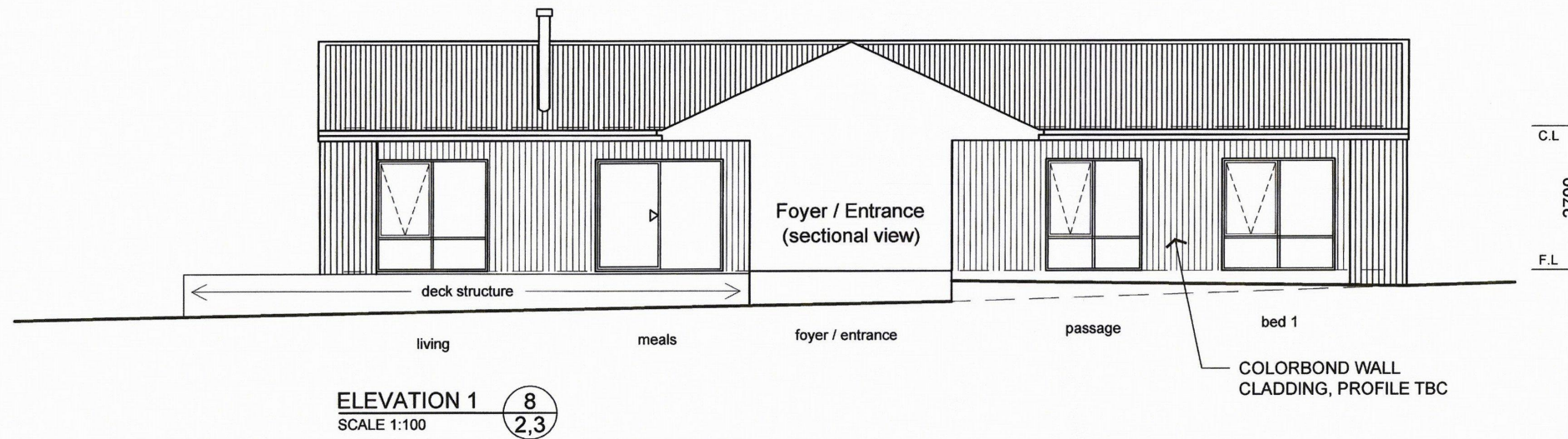
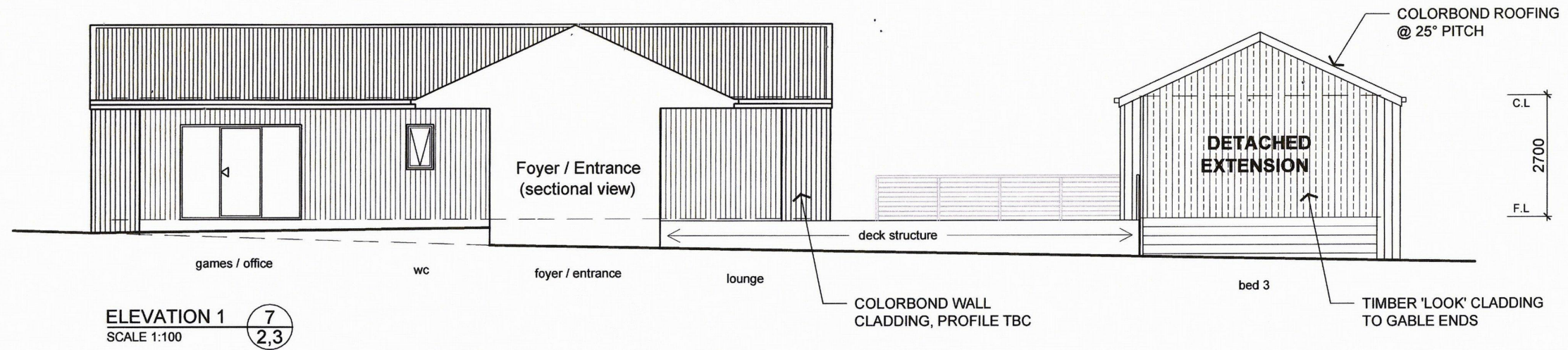
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PRELIMINARY GROUND LINES ONLY TBC.

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NOT FOR CONSTRUCTION

EXTERNAL CLADDING COLOURS

SELECTED COLORBOND ROOFING - COLOUR DARK / GREY TBC ON SITE
SELECTED COLORBOND WALL CLADDING - COLOUR DARK / GREY TBC ON SITE
SELECTED FASCIA TRIM CLADDING - COLOUR DARK / GREY TBC ON SITE
SELECTED LIGHT WEIGHT CLADDING - COLOUR NATURAL TIMBER TBC ON SITE
NOTE - PRIOR TO ORDERING OF MATERIALS, THE BUILDER SHALL CONFIRM ALL COLORS AND MATERIALS WITH CLIENT PRIOR TO ORDERING AND/OR SHALL BE CONFIRMED ON SITE

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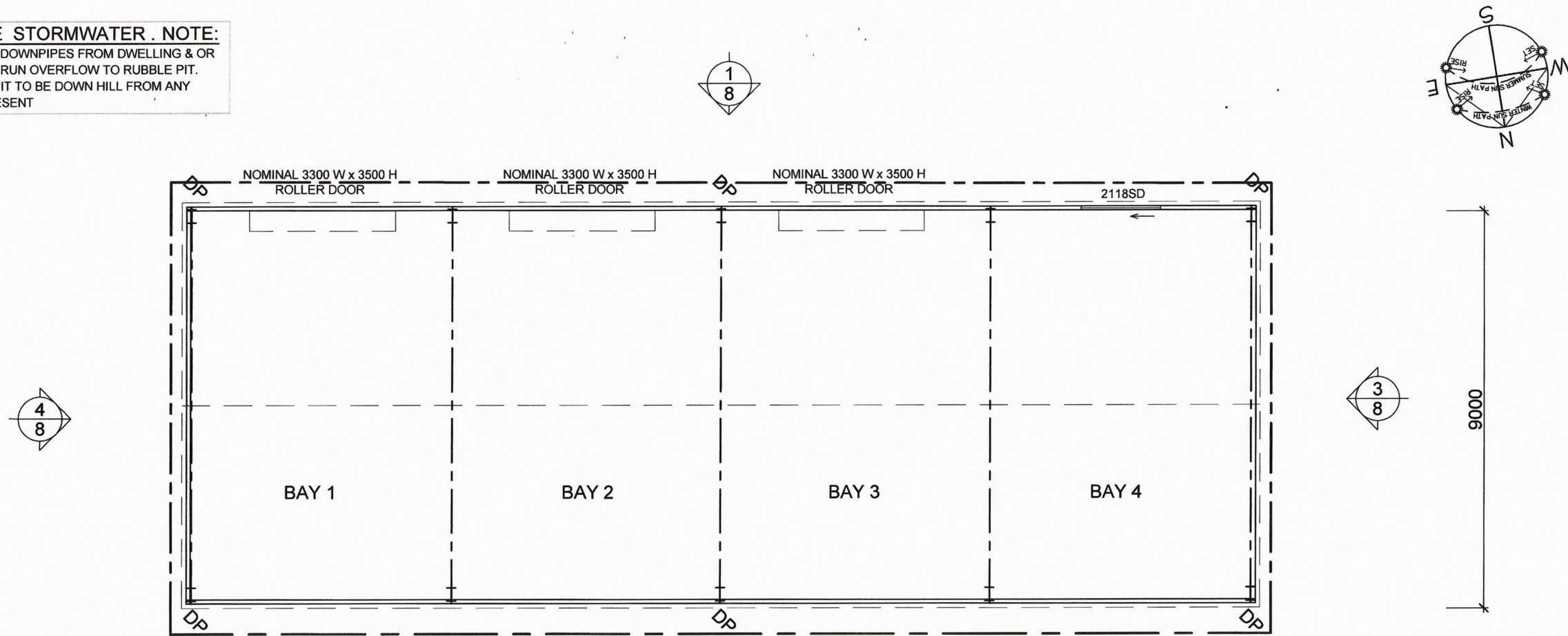
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765 Ruby - Arawata Road
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email: david@devtreasadesign.com.au

ELEVATIONS

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PROPOSED SHED FLOOR PLAN

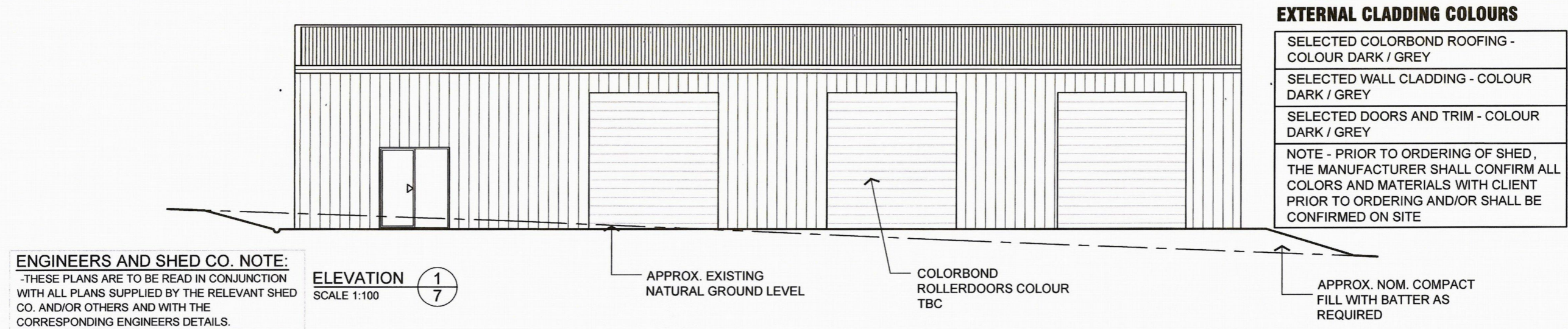
TOTAL SHED AREA: 216 M2 OR 23.25 SQ

ENGINEERS AND SHED CO. NOTE:
 -THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ALL PLANS SUPPLIED BY THE RELEVANT SHED CO. AND/OR OTHERS AND WITH THE CORRESPONDING ENGINEERS DETAILS.

SCALE 1:100 (sheet size A3)

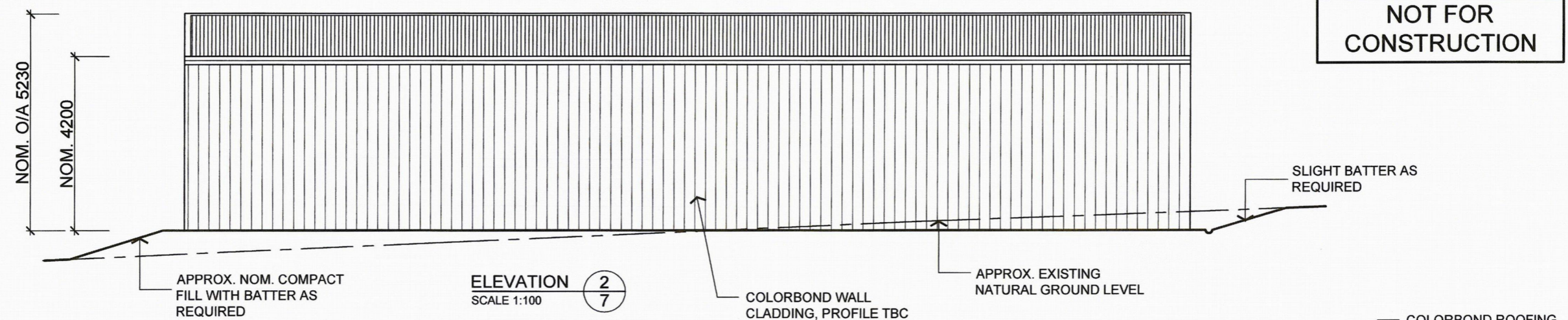
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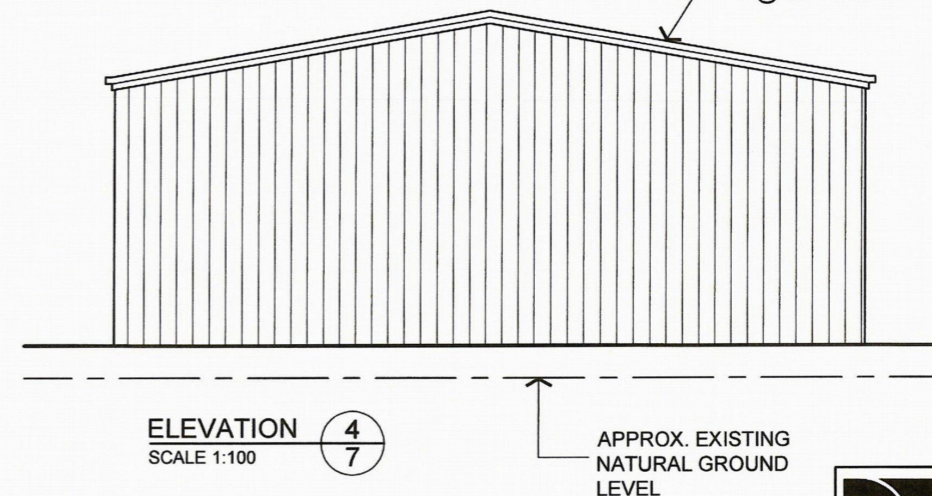
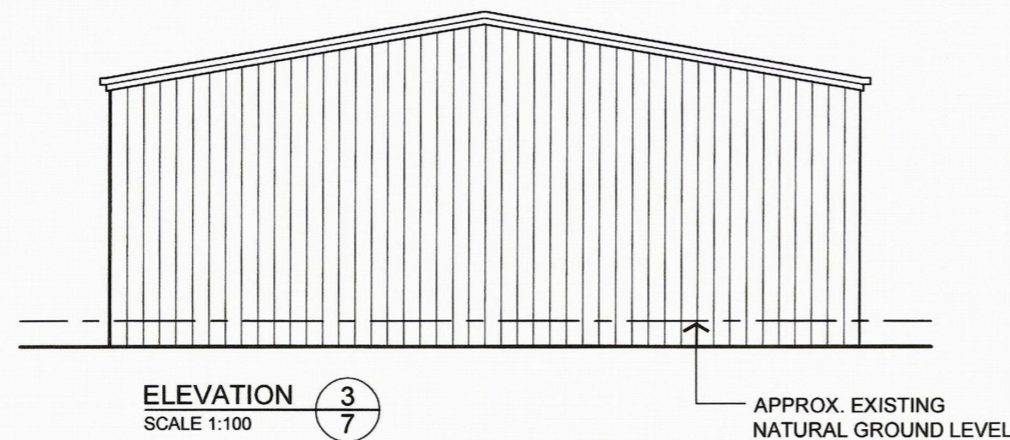


EXTERNAL CLADDING COLOURS

SELECTED COLORBOND ROOFING - COLOUR DARK / GREY
SELECTED WALL CLADDING - COLOUR DARK / GREY
SELECTED DOORS AND TRIM - COLOUR DARK / GREY
NOTE - PRIOR TO ORDERING OF SHED, THE MANUFACTURER SHALL CONFIRM ALL COLORS AND MATERIALS WITH CLIENT PRIOR TO ORDERING AND/OR SHALL BE CONFIRMED ON SITE



NOT FOR CONSTRUCTION



PROPOSED SHED ELEVATIONS

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PRELIMINARY GROUND LINES ONLY TBC.



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Bushfire Management Plan Page 1 of 2

9 Wanke Road Mirboo North 3871

Version 1.0, 28/09/2021 Euca Planning Pty Ltd

BUSHFIRE MITIGATION MEASURES

Bushfire Construction Level

- All construction works need to comply with a minimum BAL of BAL29 from AS 3959.

Defendable space

Defendable space extending around the dwelling for a distance of 50 metres or to the property boundary where lesser will be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 cm in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Firefighting water supply

10,000 litres of effective water supply for firefighting purposes which must:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above-ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4m of the accessway and be unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

Access

Provide access for firefighting purposes which meets the following requirements:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20% (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

Bushfire Management Plan Page 2 of 2
9 Wanke Road Mirboo North 3871
 Version 1.0, 28/09/2021 Euca Planning Pty Ltd

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SITE NOTES

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EXISTING FENCE

PROPOSED NEW DETACHED EXTENSION LOCATION

PROPOSED 24M X 9M SHED LOCATION

EXISTING SHED LOCATION
 NOM. LOCATION OF NEW MIN. 10,000L RESERVE TANK AS PER BPM AND CONNECT TO THE EXISTING STORMWATER SYSTEM TO EXISTING LFD AS PER LOCAL AUTHORITIES APPROVAL

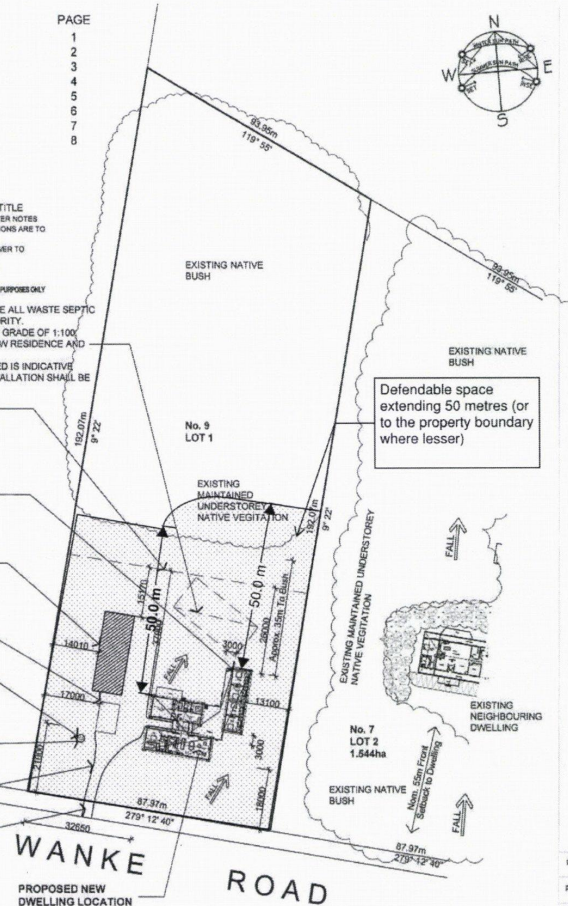
LOCATION OF CFA LINE & COUPLING MUST BE WITHIN 4m OF ROAD RESERVE AND MIN 50m FROM STRUCTURE

EXISTING GRAVEL TRACK TO BE MODIFIED AND UPGRADE AS REQUIRED

EXISTING CROSSOVER TO BE LEFT AS PER RELEVANT AUTHORITIES PREVIOUS APPROVAL

SITE PLAN

SCALE 1:1000 (sheet size A3)



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title:	TOWN PLANNING PLANS ~ 27-9-21	drawn:	LC	DATE:	SEPT 2021	DWT	<p>David Trease Design and Drafting Solutions 375 Bulky - Ansonia Road Mirboo North, VIC Phone: 039 542 1112 Fax: 039 542 1113 Email: david@trease.com.au www.trease.com.au</p>	
project:	NEW DWELLING AND SHED	DATE:	AS NOTED	REVISION:	1	ISSUE:		A
for:	JON BAKER & LORRAINE VILIAMU	SHEET:	1	OF:	8			
loc:	LOT 1, 9 WANKE ROAD, MIRBOO NORTH 3871	PROJECT NO.:	21-2102					